

GENERAL CONDITIONS

INTENT

It is the intent of these plans and specifications to develop a completely functional building, including all systems. The Contractor acknowledges that he has prepared his bid on this basis and represents that all of his questions regarding the Contract have been resolved prior to negotiating the contract price.

DRAWINGS AND EXISTING CONDITIONS

The Contractor represents that he has carefully examined the drawings and specifications and has fully acquainted himself with the existing structure and conditions, and that he has made all investigations essential to a full understanding of the difficulties that may be encountered in performing the work.

The Contract Documents are complementary and what is called for in one shall be as binding as if called for by all.

MATERIALS AND WORKMANSHIP

All workmanship shall conform to the best current practice of the respective trades, and all materials and equipment incorporated in the work shall be new and of the best grade of their respective kinds.

The Owner and the Architect shall be the final judges as to the acceptability of substitutions where allowed.

The Owner reserves the right to reject certain portions of the Work in progress that are not in conformance with the Contract or that are not being performed in accordance with acceptable practice and workmanship. Any materials or workmanship that are deemed defective or unsatisfactory shall be replaced or repaired by the Contractor at no cost to the Owner. In case of dispute the Architect shall serve as unbiased arbitrator.

BUILDING REGULATIONS

The Contractor shall follow and all work shall be carried out in strict accordance with the requirements of all laws, rules, ordinances and regulations of the city, county, state and federal departments and agencies governing construction.

If the drawings or specifications are at variance with the above mentioned governmental requirements, the Contractor shall promptly notify the Owner. The Contractor is responsible for performing the Work in compliance with governmental regulations and shall take this into account when negotiating contract price.

PROTECTION OF EXISTING FACILITIES

Contractor shall take utmost care and precautions to avoid damage or disruption to owner's existing facilities or operations. Existing driveways, pavement, curbs, building, equipment, etc., shall be maintained in a clean manner at all times and any damage to same shall be repaired to original condition at no cost to Owner.

Job Site shall be left clean and orderly at the end of each working day. Contractor shall perform a "Final Clean-up" after completion of work that shall leave all floors walls and windows in a like-new condition.

FEES AND PERMITS

The Contractor shall obtain and pay for all permits, licenses, inspections, and certifications that are required by the laws, ordinances & regulations in effect in the locality in which the work is to be performed.

WHITE STEEPLE GALLERY

BASEMENT ENTRY REMODEL 314 JERSEY ST. -- SILVERTON, OR

CODE SUMMARY

THIS APPLICATION IS FOR THE REPLACEMENT BASEMENT ENTRYWAY IN AN EXISTING HISTORIC BUILDING. THE NEW ENTRY WILL INCREASE CLEARANCES AT THE DOORS AND WIDEN THE STAIRWAY, IMPROVING THE EGRESS PATH AND INCREASING ACCESSIBILITY. THE ADDITION HAS BEEN DESIGNED TO BE COMPATIBLE WITH THE HISTORIC CHARACTER OF THE EXISTING STRUCTURE. THE EXISTING OCCUPANCY (A3) AND CONSTRUCTION TYPE (5B) WILL NOT BE CHANGED. THE EXISTING BUILDING AREA IS 1457 SQ FT ON THE MAIN LEVEL AND 1457 SQ FT IN THE BASEMENT. THE NEW ENTRY WILL CREATE AN ADDITIONAL 76 SQ FT AT THE BASEMENT LEVEL, BRINGING THE TOTAL TO 1533 SQ FT.

PROJECT TEAM

DESIGNER:
C LEGG DESIGN
457 SW WASHINGTON #2
CORVALLIS, OR 97333
541.401.7596

OWNER:





C Legg Design

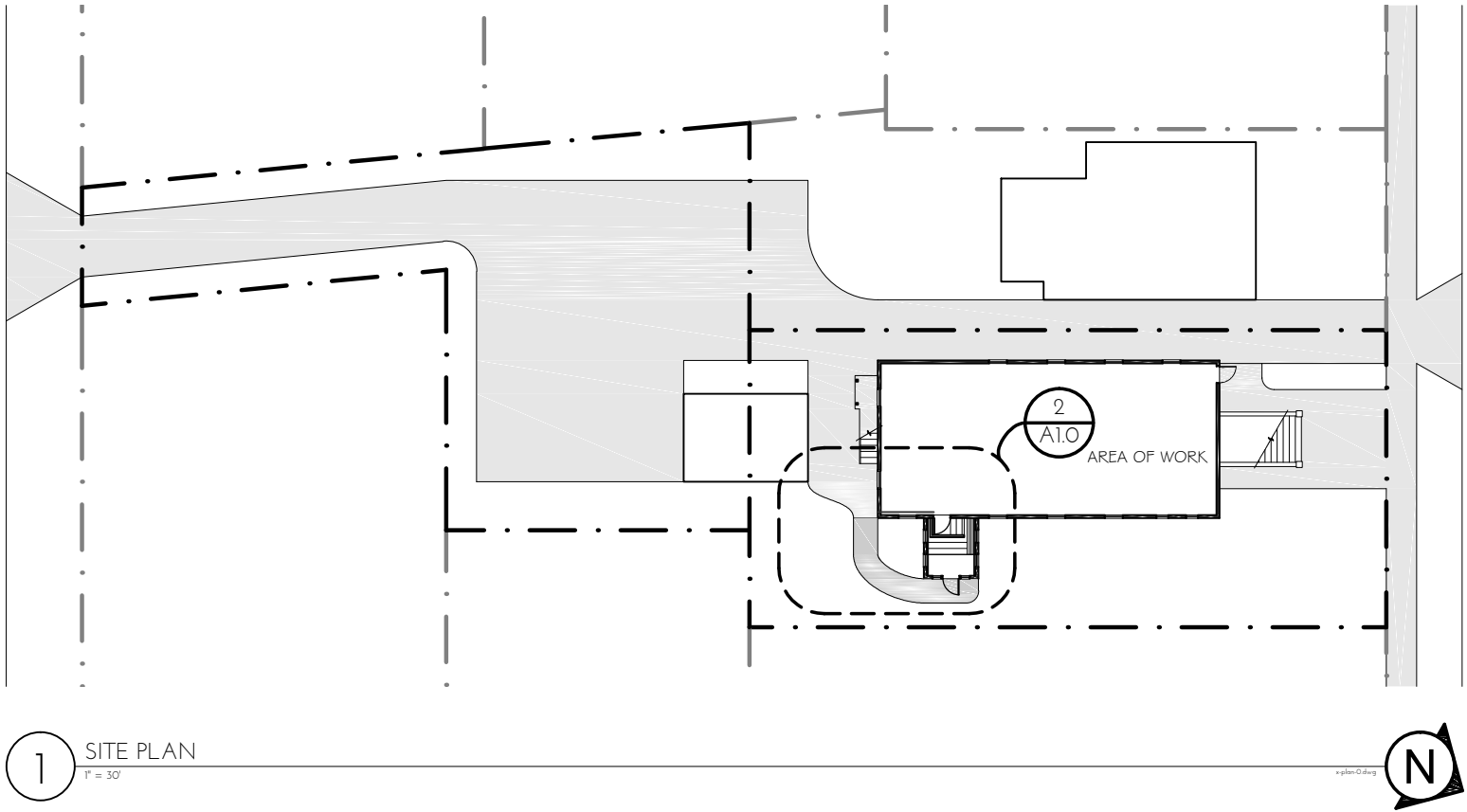
457 SW Washington Ave #2
Corvallis, OR 97333
chris@designcl.com
541.401.7596

WHITE STEEPLE GALLERY
BASEMENT ENTRY REMODEL

JOB NO. 1201
DRAWN BY CAL
DATE 2011-05-09
PLOTTED 2012-02-04

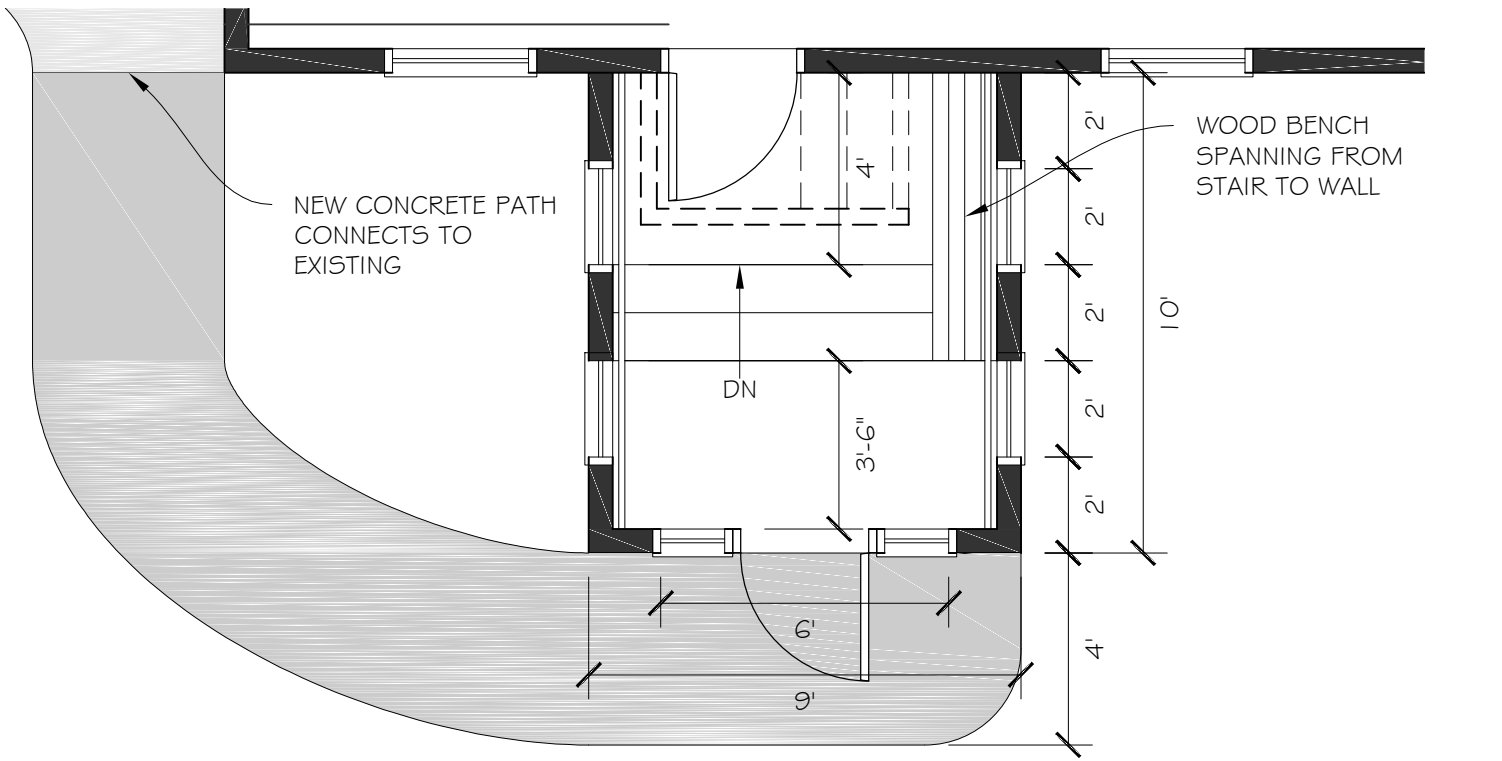
PLAN

A1.0



1 SITE PLAN
1" = 30'

2 FLOOR PLAN
1/4" = 1'



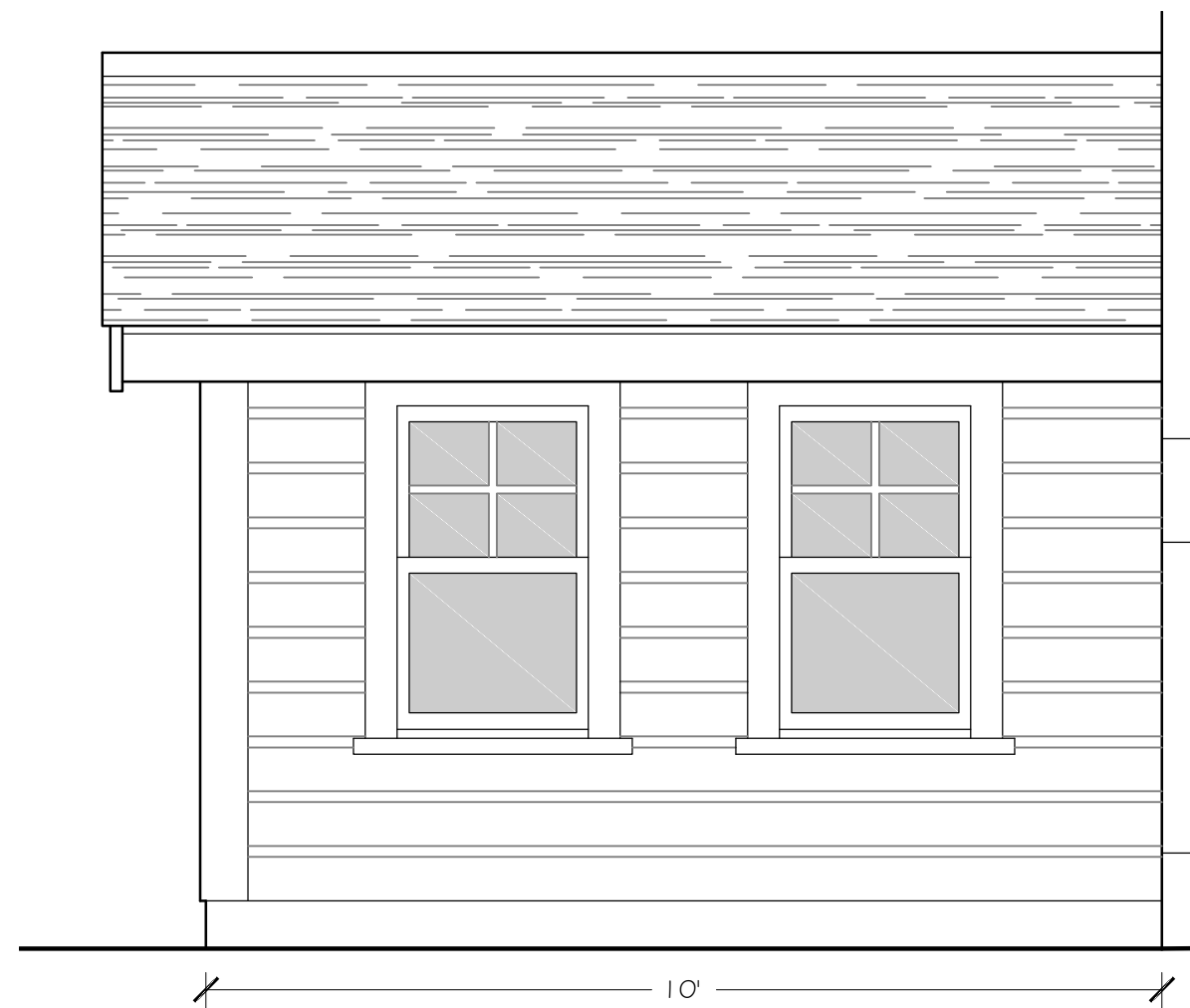
WOOD BENCH
SPANNING FROM
STAIR TO WALL

NEW CONCRETE PATH
CONNECTS TO
EXISTING

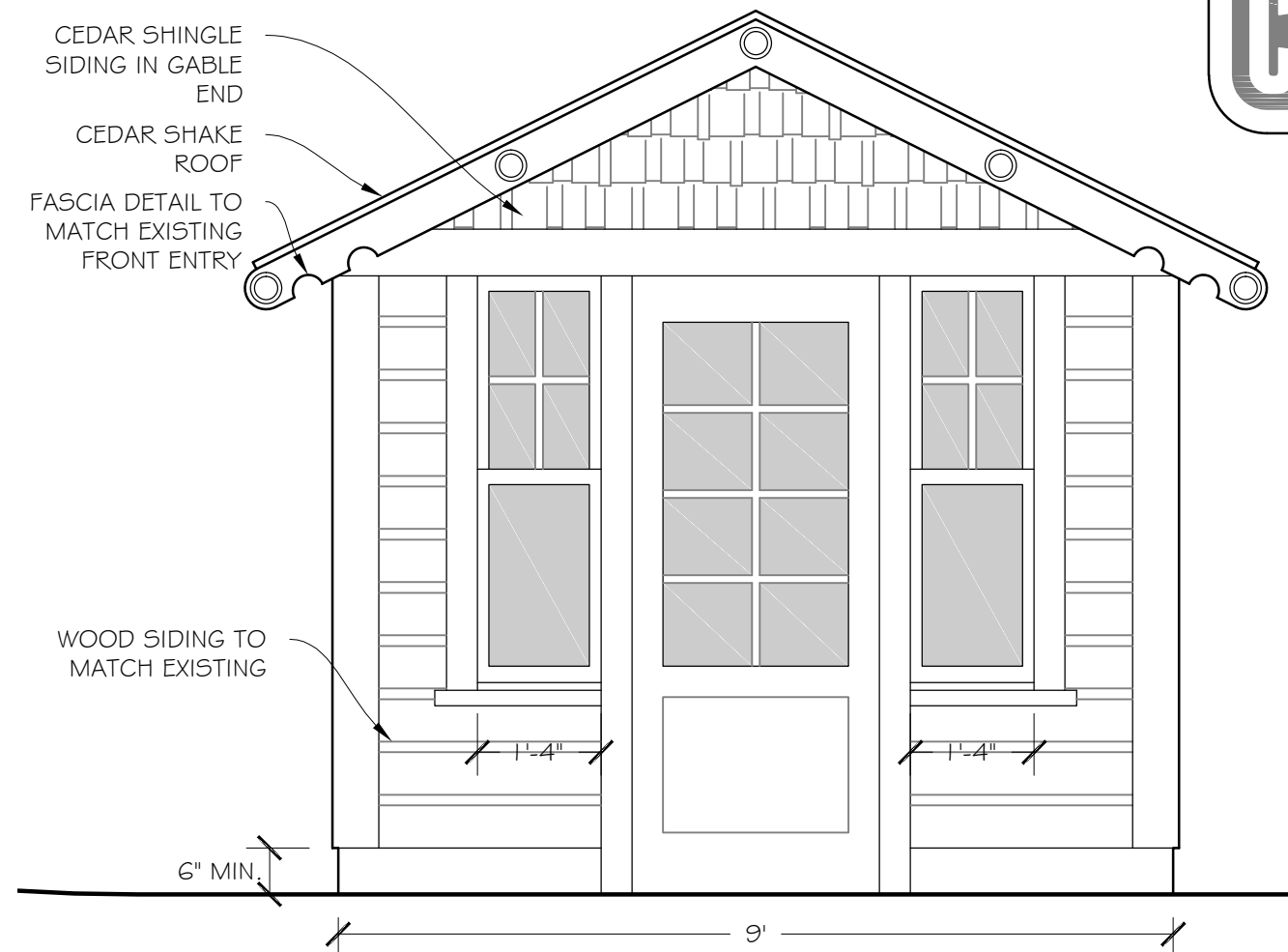
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ELEVATIONS
A2.0



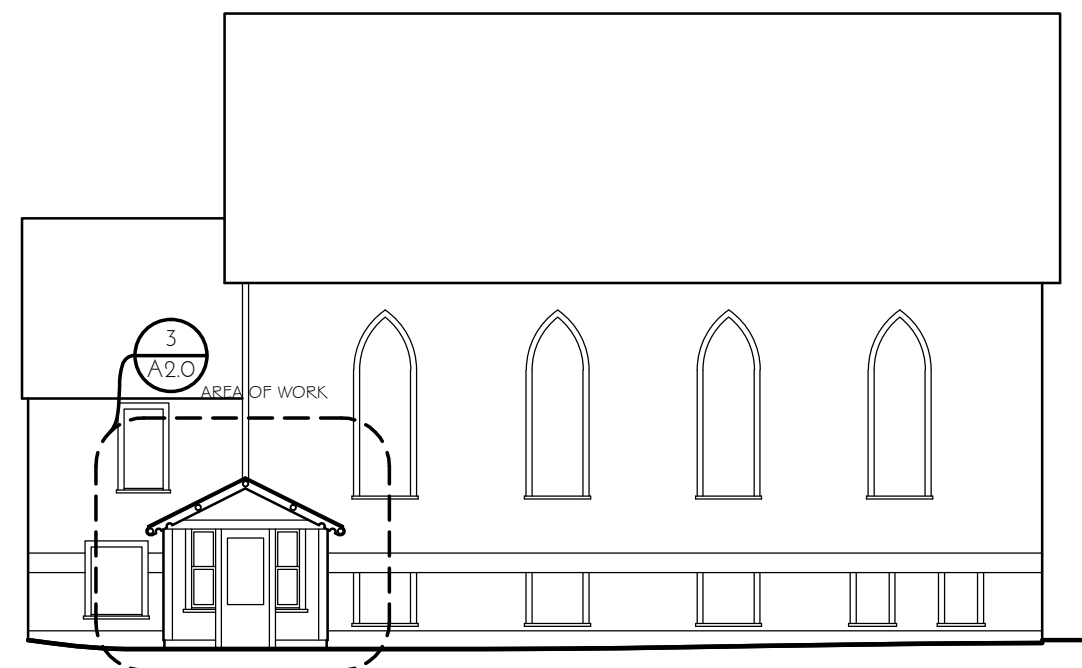
4 NORTH ELEVATION DETAIL
SCALE: 1/2" = 1'



3 EAST ELEVATION DETAIL
SCALE: 1/2" = 1'



2 NORTH ELEVATION
SCALE: 3/32" = 1'

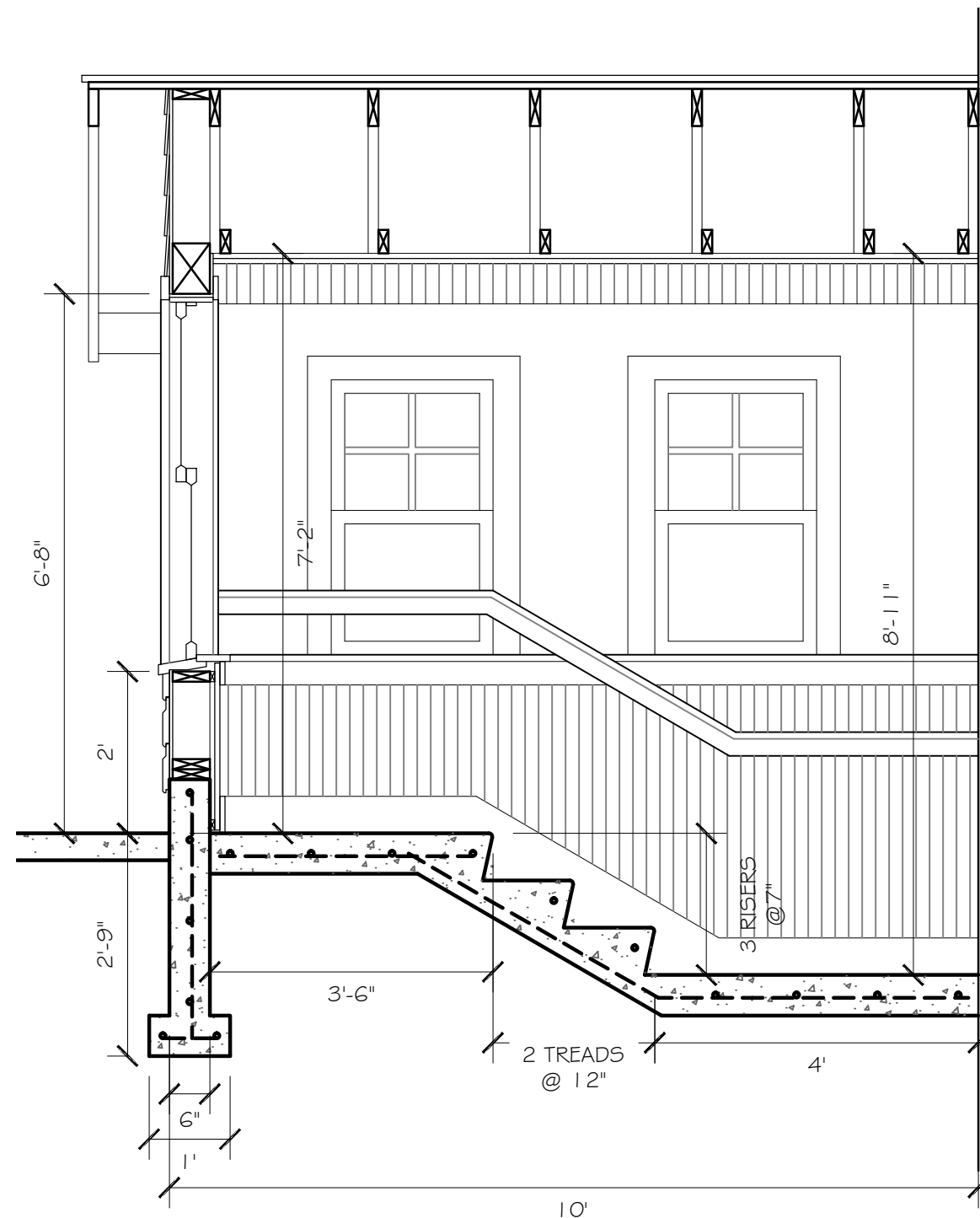
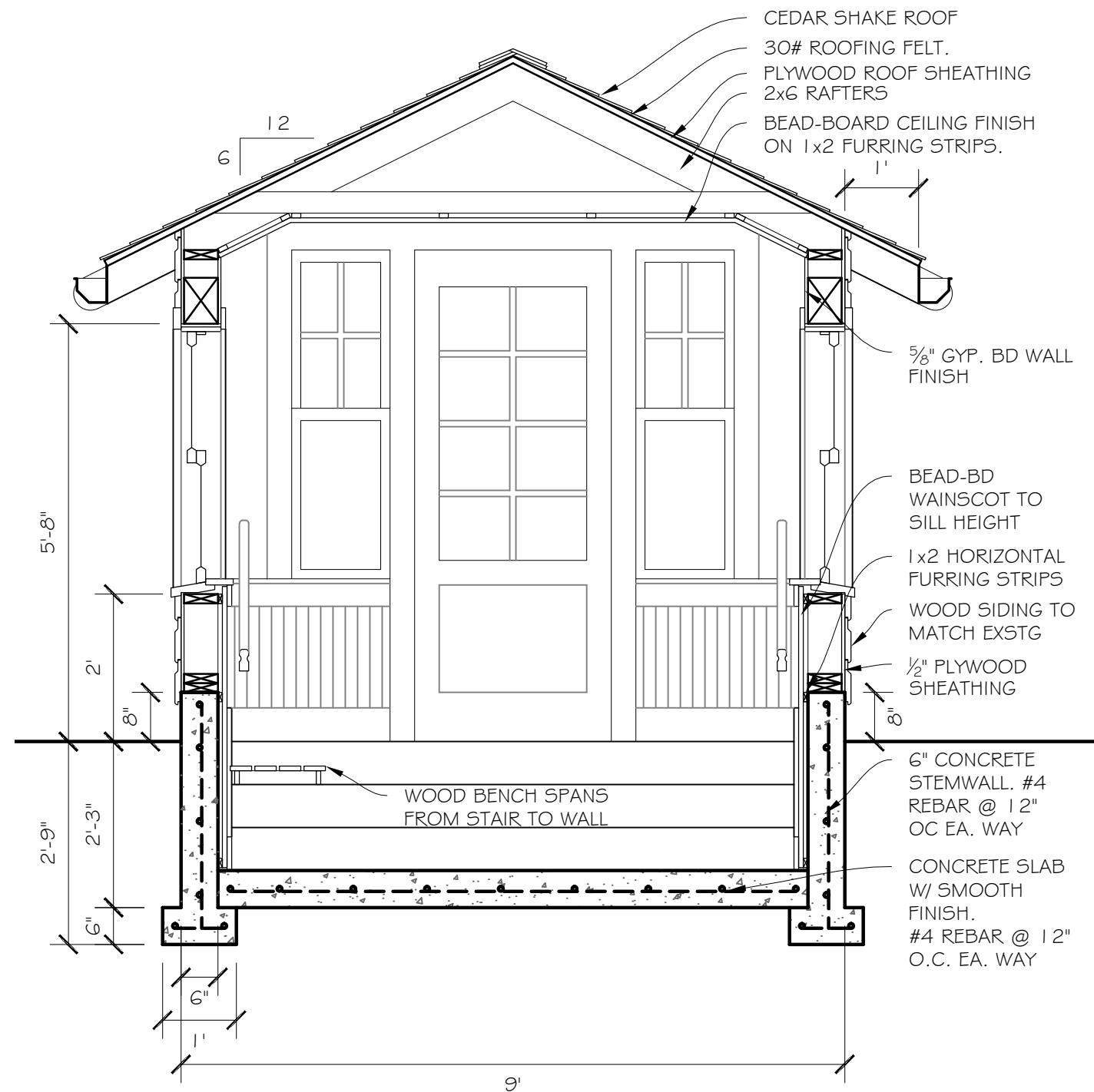


1 EAST ELEVATION
SCALE: 3/32" = 1'

WHITE STEEPLE GALLERY
BASEMENT ENTRY REMODELJOB NO. 1201
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SECTIONS

A3.0

2 E-W SECTION
SCALE: 1/2" = 1'1 N-S SECTION
SCALE: 1/2" = 1'